

CECIL HOTEL | PROJECT SUMMARY

SCOPE OF WORK:
PROPOSED WALL SIGN

EXISTING USE OF BUILDING:
HOTEL

ZONING INFORMATION:
C2-2D
ZI-2488 REDEVELOPMENT PROJECT AREA: CITY CENTER
ZI-2353 RESIDENTIAL HOTEL UNIT CONVERSION DEMOLITION ORDINANCE
ZI-2487 CITY CENTER/CENTRAL IND. DEV. GUIDELINES & CONTROLS FOR RESIDENTIAL HOTELS
ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES
ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE AREA
ZI-2374 STATE ENTERPRISE ZONE: LOS ANGELES
ZI-2498 LOCAL EMERGENCY TEMPORARY REGULATIONS - TIME LIMITS AND PARKING RELIEF - LAMC 16.02.1
(SEE SHEET 02)

LEGAL DESCRIPTION:
640 S MAIN STREET
APN: 5148021010
LOT A
TRACT HELLMAN-WOLFSKILL LOTS

BUILDING LINES:
(SEE PLAN ON SHEET 08)

ALLEY LOCATION/SIZE:
WERDIN PL WIDTH IS APPROXIMATELY 14FT
(SEE PLAN ON SHEET 08)

LOT SIZE:
13,537.4 SQ FT

STREET CENTERLINE:



SIZE, TYPE, LOCATION OF ALL SIGNS ON LOT:
(SEE SHEET 04 FOR SIGNS LOCATED ON ELEVATION WITH SQ FT)
(SEE SHEET 05-06 FOR SIGNS PERMITS)

BUILDING ELEVATIONS/HEIGHT:
154'-0"
(SEE ELEVATION ON SHEET 08)

CLIENT:

SIMON BARON
OWNER . DEVELOPER

SIMONBARON.COM

LOCATION:

Hotel
Cecil

640 S MAIN STREET
LOS ANGELES, CA 90014

DATE:

16 AUGUST 2022

CLIENT:

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OWNER/DEVELOPER

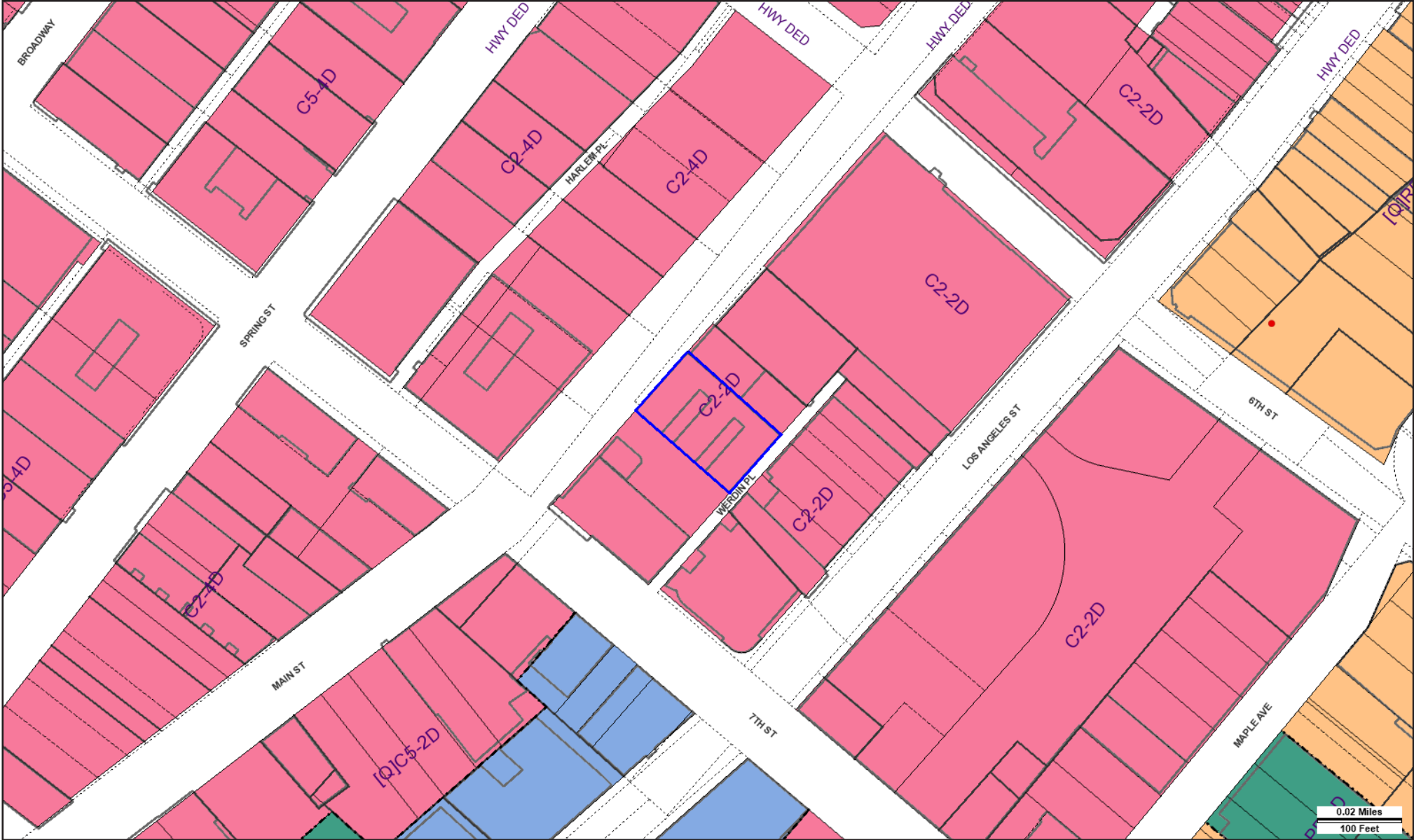
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ZIMAS PUBLIC

Generalized Zoning

07/28/2022

City of Los Angeles
Department of City Planning



Address: 640 S MAIN ST
APN: 5148021010
PIN #: 127-5A211 97

Tract: HELLMAN-WOLFSKILL LOTS
Block: None
Lot: LT A
Arb: None

Zoning: C2-2D
General Plan: Community Commercial



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Wall Sign (L.A.M.C. Sections 14.4.2 & 14.4.10; L.A.B.C. Section 6211)

Any sign attached to, painted on or erected against the wall of a building or structure, with the exposed face of the sign in a plane approximately parallel to the plane of the wall.

- Height shall not extend above the top of the wall of the building. Sign shall not project more than 24” from the face of the building and shall not project over the building line greater than that permitted in Diagram A.
- Location shall be minimum 5’ from an interior lot line and if facing the rear lot line and within 30’ of an R3 or more restrictive zone, shall not be illuminated. Sign shall not be placed on a fence or freestanding wall.
- Area of all wall signs facing a street shall not exceed 2 square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single story building.
- For buildings more than one story in height, the area of all walls signs shall not exceed that permitted for a single story by more than 10% for each additional story, with a maximum increase of 50% of that permitted for a single story building. Channel letter signs are allowed a 20% increase in area provided there is no change in the background color.
- Combined area of illuminated architectural canopy, roof, and wall signs facing the same direction shall not exceed 2 square feet per foot of street frontage, plus one square foot per foot of building frontage.
- Combined area of wall, projecting, monument, illuminated architectural canopy, pole, roof, and window signs shall not exceed 4 square feet per foot of street frontage.
- A message on the edge of a wall sign shall be regulated as a projecting sign.
- Signs located over 100’ above grade shall be identification signs and shall comprise a maximum of 80% of the building width and a maximum of 5% of the wall area.
- In lieu of a complete sign inventory for the lot and compliance with the above area limits, the total area of all wall signs for an individual tenant space shall not exceed 3 square feet per foot of exterior tenant space frontage.
- Projection over the building line shall comply with Diagram A.

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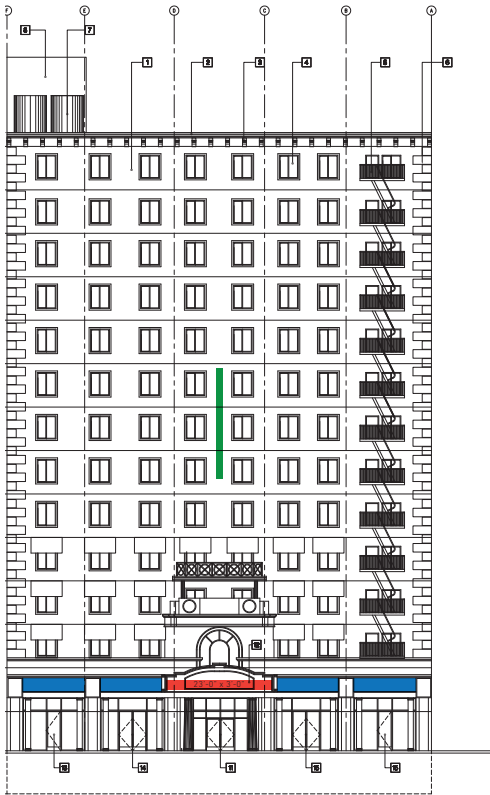
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CECIL HOTEL | PERMITTED SIGN LOCATIONS



WALL SIGNS – 156 sq ft
MARQUEE SIGN – 46 sq ft
PROJECTING SIGN – 240 sq ft

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STRUCTURE INVENTORY (Note: Numeric measurement data in the format "number" implies "change in numeric value")		05048 - 30000 - 01605
(P) # 223607: # of Faces: +3 Faces / 3 Faces (P) # 223607: Height from Grade: +10 Feet / 10 Feet (P) # 223607: Illuminated Sign (P) # 223607: Sign Area: +39 Sqft / 39 Sqft (P) # 223607: Sign Length: +23 Feet / 23 Feet (P) # 223607: Sign Width: +2 Feet / Feet (P) # 223607: Street Frontage: 92 Feet		
16. APPLICATION COMMENTS		In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.
15. Building Released From:		
16. CONTRACTOR, ARCHITECT, & ENGINEER NAME (A) Blake Sign Company Inc (E) Tucker, Jerry Walter	ADDRESS 11661 Seaboard Circle, Stanton, CA 90680 508 N Newport Bl, Jerry Tucker & Asso Newport Beach, CA 92663	CLASS LICENSE# PHONE# C45 506422 714-891-5682 S2187
PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (See: 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (See: 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).		
17. LICENSED CONTRACTOR'S DECLARATION I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to all Contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.		
License Class: C45 Lic. No.: 506422 Contractor: BLAKE SIGN COMPANY INC		
18. WORKERS' COMPENSATION DECLARATION I hereby affirm, under penalty of perjury, one of the following declarations:		
<input type="checkbox"/> I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.		
<input checked="" type="checkbox"/> I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My Workers' compensation insurance carrier and policy number are: Carrier: State Comp. Ins. Fund Policy Number: 1581808		
<input type="checkbox"/> I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.		
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.		
19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING I certify that notification of asbestos removal is either not applicable or was sent to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Due to the possible presence of lead-based paint, lead safe work practices are required on all repairs in pre-1979 buildings that disturb paint. Failure to do so could create lead hazards that violate California Health and Safety Code Section 19720.10 and Section 102526 and may be subject to a \$1000 fine or criminal prosecution. For more information call CA County's Department of Health Services at (800)524-5323. In order to locate a Lead Certified Professional and obtain additional information, call California DHS at (800)997-5323 or go to the DHS Website at http://www.dhs.ca.gov/cdleadandHSE/NetSite.html .		
20. CONSTRUCTION LENDING AGENCY DECLARATION I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (See: 3097, Civil Code). Lender's name (if any): _____ Lender's address: _____		
21. FINAL DECLARATION I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, if made any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).		
By signing below, I certify that: (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and State Declaration; and (2) This permit is being obtained with the consent of the legal owner of the property.		
Print Name: Jerry Tucker Sign: [Signature] Date: NOV 21 05 Contractor: _____ Authorized Agent: _____		

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05

CECIL HOTEL | PRECEDENT IMAGERY



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Cecil

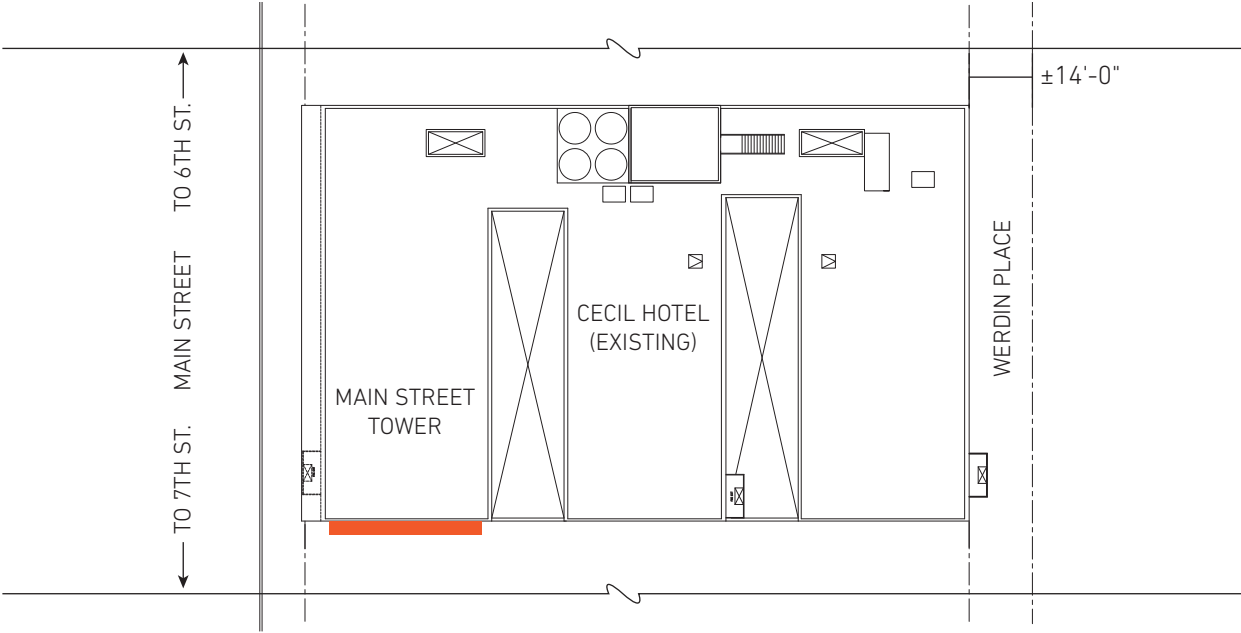
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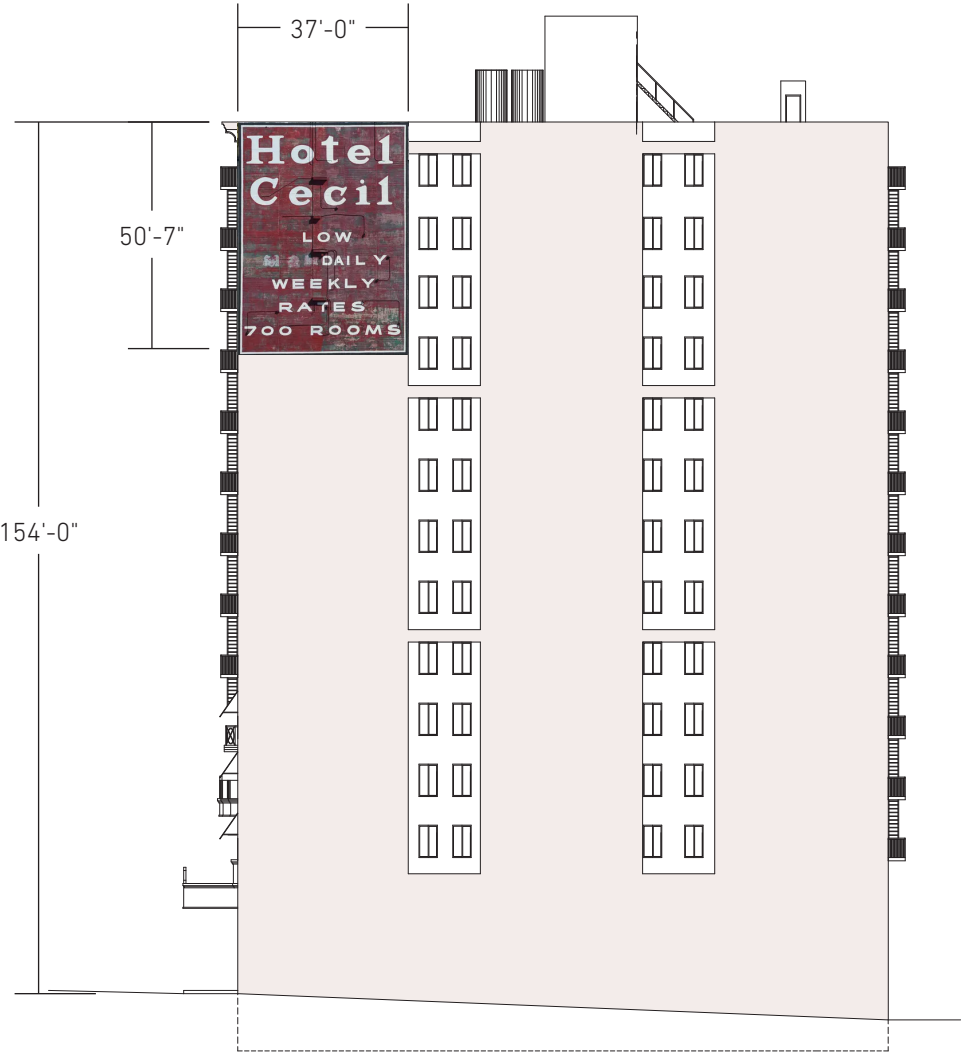
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CECIL HOTEL | ORIGINAL WALL SIGN ELEVATION & PLAN

2 PLAN
Scale: 1:500



1 SOUTH ELEVATION
Scale: 1:500



WALL SIGN
1,872 Square Feet

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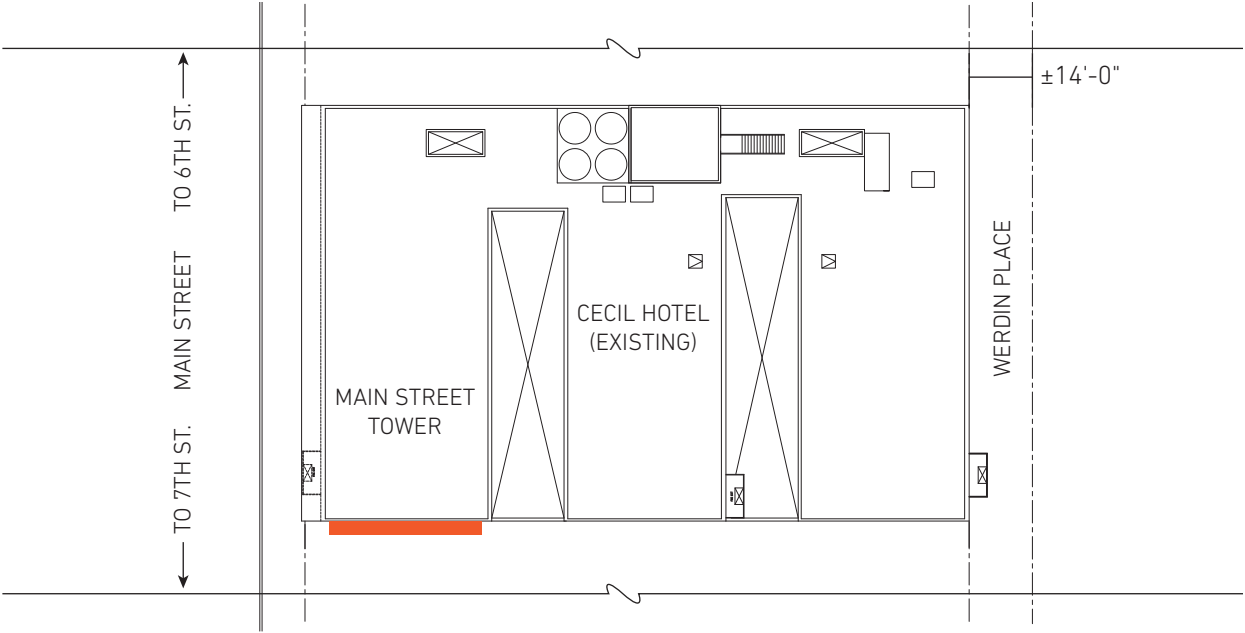
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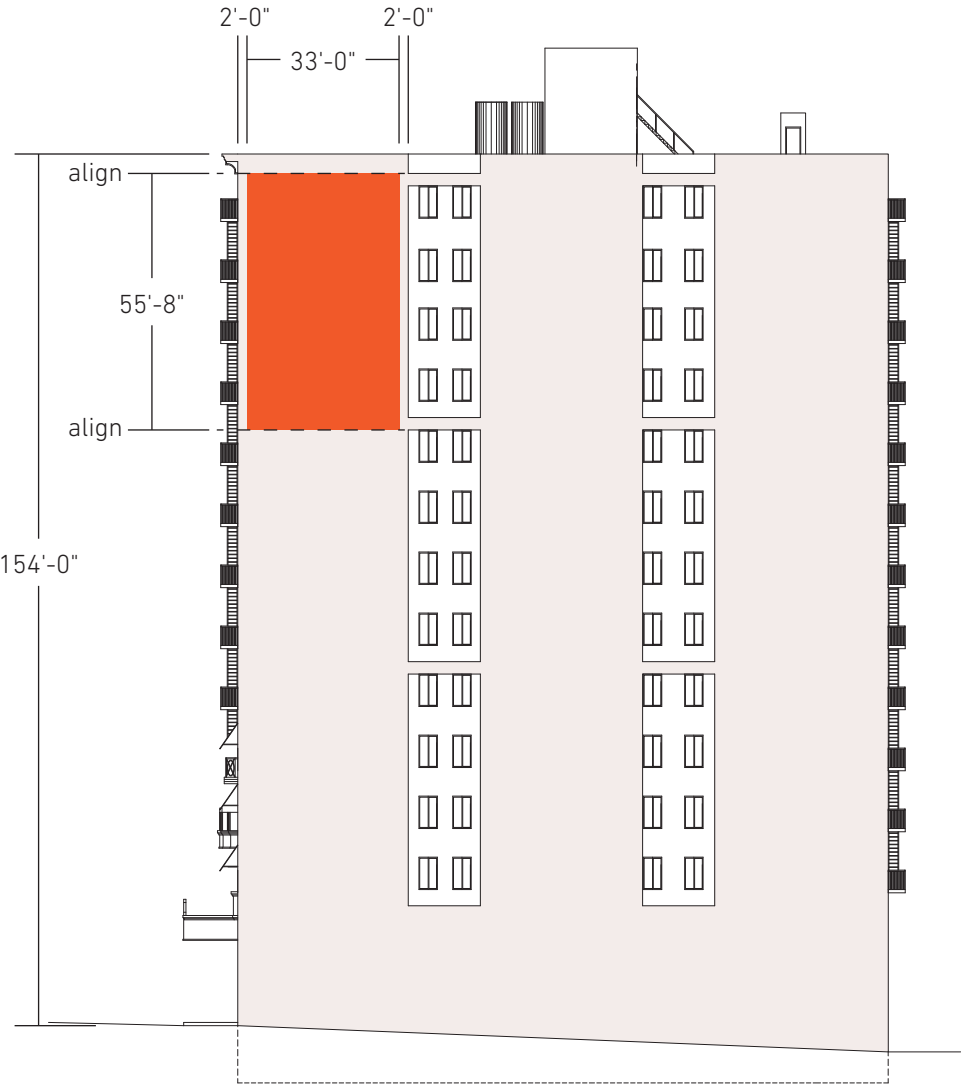
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CECIL HOTEL | PROPOSED WALL SIGN ELEVATION & PLAN

2 PLAN
Scale: 1:500



1 SOUTH ELEVATION
Scale: 1:500



WALL SIGN
1,837 Square Feet

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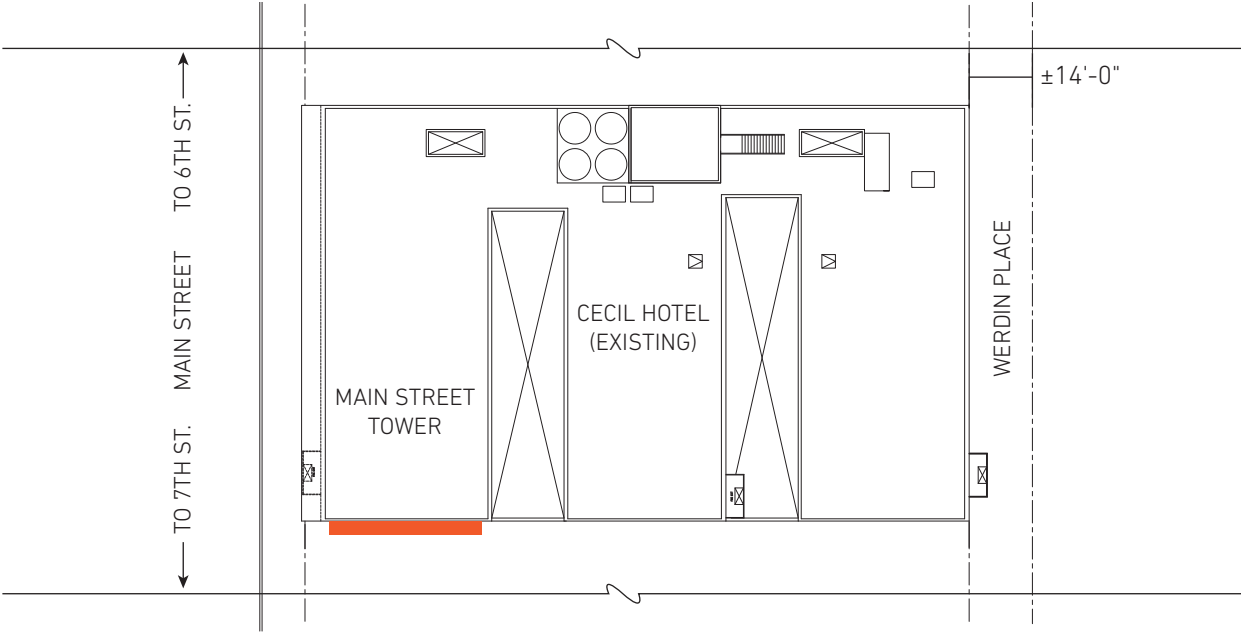
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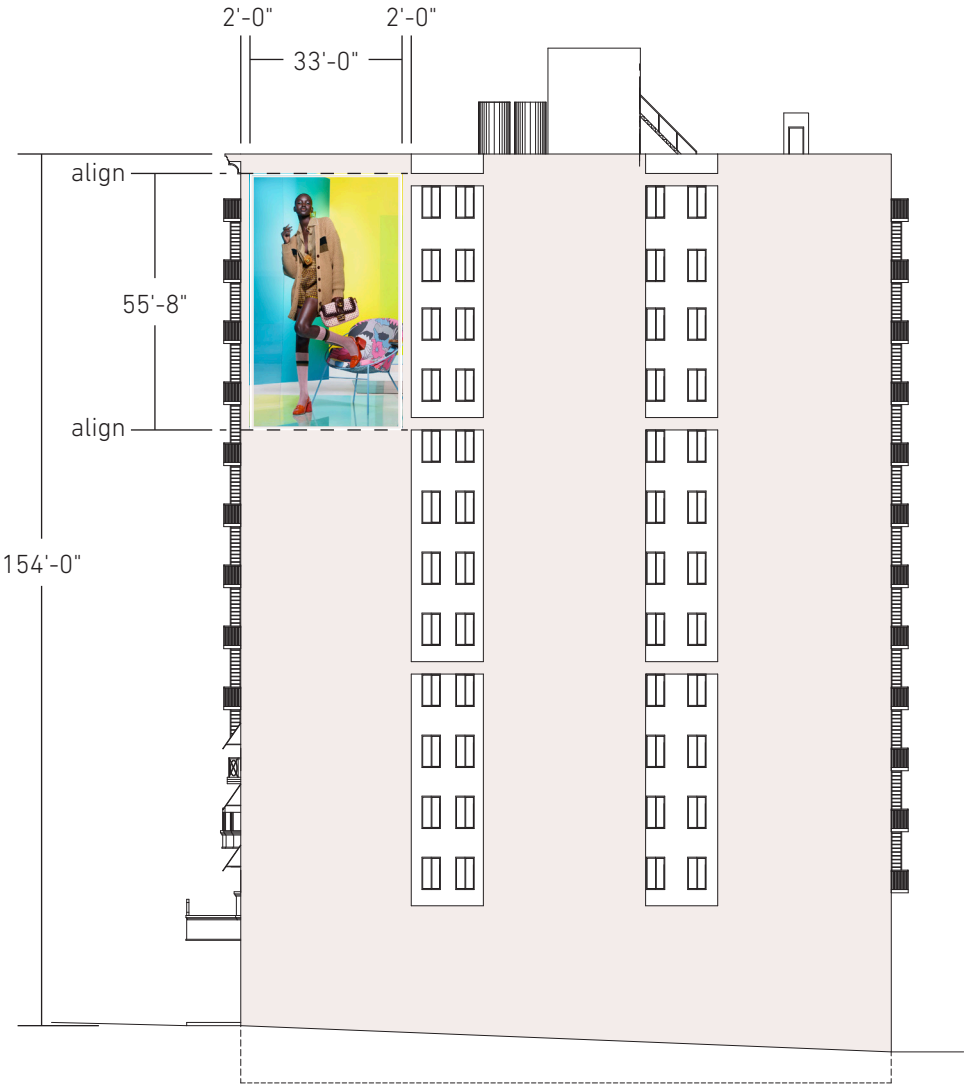
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CECIL HOTEL | PROPOSED SAMPLE ARTWORK WALL SIGN ELEVATION & PLAN



2 PLAN
Scale: 1:500



1 SOUTH ELEVATION
Scale: 1:500

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THE CREATIVE IS REPRESENTED FOR ILLUSTRATION PURPOSES

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